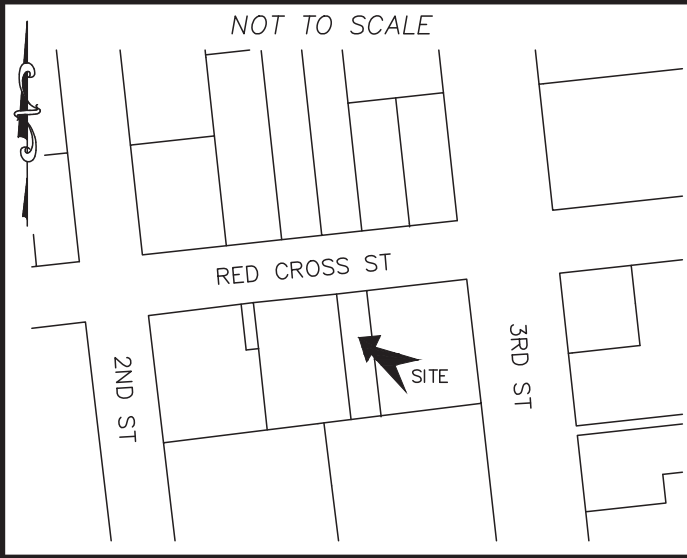


LOCATION MAP



SITE & BUILDING DATA:

TOTAL LOT AREA = 4,158 SF (0.09 AC)
 PROPERTY ADDRESS IS 214 RED CROSS STREET
 PID = R04813-031-007-000

EXISTING ON-SITE DATA:
 EXISTING BUILDINGS ON SITE = 0 SF
 EXISTING ASPHALT = 0 SF
 TOTAL = 0 SF

EXISTING OR IMPERVIOUS:
 PROPOSED IMPERVIOUS:
 PROPOSED BUILDINGS = 2,730 SF
 PROPOSED CONCRETE WALK = 617 SF
 TOTAL = 3,347 SF

3,347 / 4,158 = 0.804 OR 80% IMPERVIOUS

WHOLE SITE IS WITHIN UR SOIL TYPE.
 SCS SOIL GROUP "A" PER USDA SOIL SURVEY WEBSITE

PROPOSED IMPERVIOUS OFFSETS:
 COMMUNITY SIDEWALK CONNECTION = 421 SF

BUILDING DATA:
 NUMBER OF BUILDINGS = 1
 14 - 1 BEDROOM UNITS, 2 OFFICE UNITS
 BUILDING HEIGHT = +/- 40 FT
 NUMBER OF STORIES = 3 + BASEMENT
 SQUARE FOOTAGE PER FLOOR

BASEMENT	2,730
1ST FLOOR	2,730
2ND FLOOR	2,730
3RD FLOOR	2,730
TOTAL	10,920

BUILDING TYPE = V
 BUILDING AREA: 2,730 SF
 LOT COVERAGE: 2,730 SF / 4,158 SF = 0.656
 PROPOSED 66% BUILDING LOT COVERAGE

BUILDING SETBACKS:
 EX. BUILDING REQUIRED SETBACKS PROPOSED SETBACKS

FRONT SETBACK: 0 FT	FRONT SETBACK: 0 FT
SIDE SETBACK: 0 FT	SIDE SETBACK: 5.6 & 3.2 FT
REAR SETBACK: 0 FT	REAR SETBACK: 6.2 FT

GENERAL NOTES:

- NEW HANOVER COUNTY PARCEL NUMBERS:
PID = R04813-031-007-000
- TOTAL PROJECT AREA: 4,176 (0.10 AC.)
- EXISTING ZONING DISTRICT: CBD
- LAND CLASSIFICATION: COMMERCIAL
- THIS SITE IS LOCATED WITHIN ZONE "X" ACCORDING TO FEMA FIRM COMMUNITY PANEL NUMBER 372031800L, EFFECTIVE DATE 8/28/18
- SITE ADDRESS: 214 RED CROSS STREET
- EXISTING IMPERVIOUS ON-SITE = 0.0 SF
- AS-BUILT, BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED AND PROVIDED TO CSD ENGINEERING BY PARAMOUNT ENGINEERING, INC; VERTICAL DATUM = 88
- STORMWATER DRAINS TO CAPE FEAR RIVER, SC 18-(71)
LAND OWNER - 214 RED CROSS STREET LLC
188 STATE STREET, 3RD FLOOR
PORTLAND, ME 04101

PARKING NOTES:

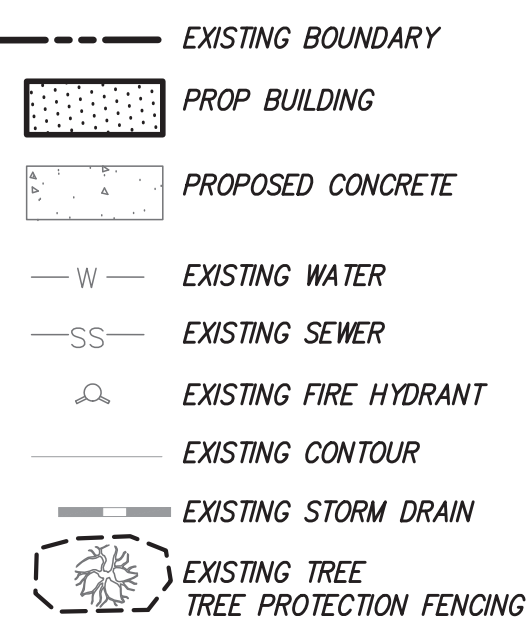
- NONE REQUIRED IN CBD

WATER & SEWER USAGE NOTES:

CURRENT WATER USAGE 0 GPD PROPOSED WATER USAGE 1,830 GPD
 CURRENT SEWER USAGE 0 GPD PROPOSED SEWER USAGE 1,830 GPD

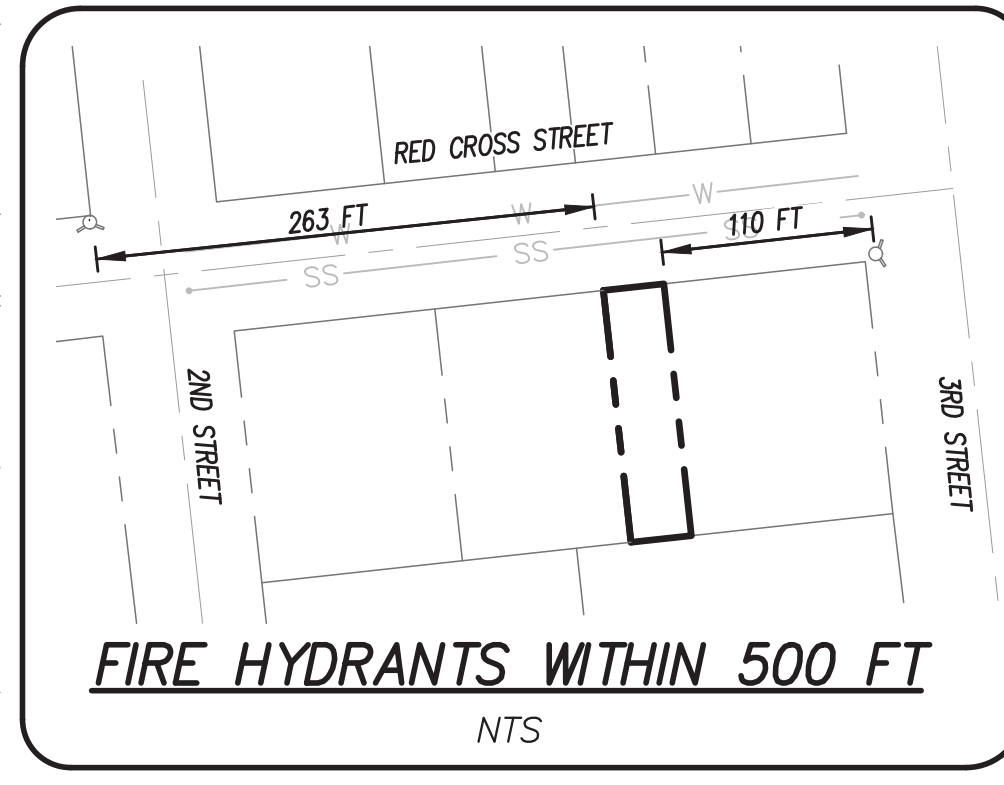
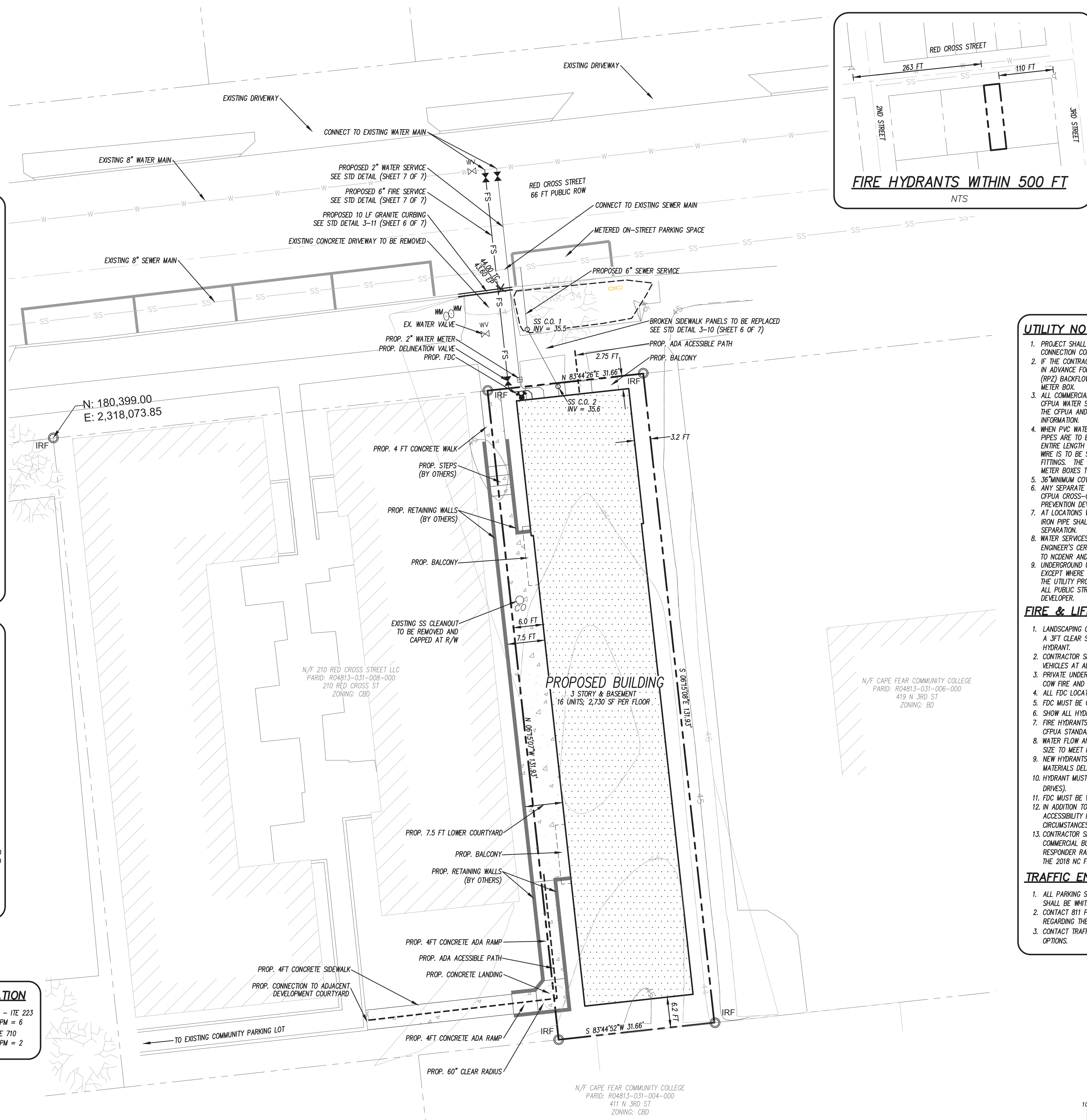
WATER - 14 BEDROOMS X 120 GPD = 1,680 GPD
 SEWER - 14 BEDROOMS X 120 GPD = 1,680 GPD
 WATER - 6 EMPLOYEES X 25 GPD = 150 GPD
 SEWER - 6 EMPLOYEES X 25 GPD = 150 GPD

LEGEND



TRIP ESTIMATION

14 RESIDENTIAL UNITS - ITE 223
 AM = 5 PM = 6
 1,200 SF OFFICE - ITE 710
 AM = 2 PM = 2



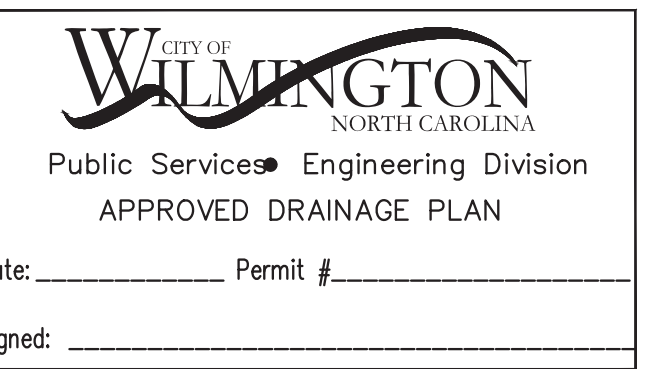
Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

UTILITY NOTES:

- PROJECT SHALL COMPLY WITH THE CITY OF WILMINGTON AND CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. CALL 343-3910 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE/SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ALL COMMERCIAL WATER SERVICES AND ANY IRRIGATION SYSTEMS SUPPLIED BY CFPWA WATER SHALL HAVE A BACKFLOW PREVENTION DEVICE ACCEPTABLE TO THE CFPWA AND APPROVED BY USFCCCOR OR ASSE. CALL 789-6064 FOR INFORMATION.
- WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED COPPER WIRE INSTALLED THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE. THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES AND FITTINGS. THE WIRE IS TO BE ACCESSIBLE AT ALL FIRE HYDRANTS AND WATER METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
- 36" MINIMUM COVER OVER ALL WATER MAINS.
- ANY SEPARATE CONNECTION FOR IRRIGATION SHALL COMPLY WITH CITY AND CFPWA CROSS-CONNECTION REQUIREMENTS WITH APPROVED BACKFLOW PREVENTION DEVICES.
- AT LOCATIONS WHERE WATER MAIN CROSSES UNDER SANITARY SEWER, DUCTILE IRON PIPE SHALL BE USED ALONG WITH PROVIDING 24" MINIMUM OF VERTICAL SEPARATION.
- WATER SERVICES CAN NOT BE ACTIVATED ON NEW WATER MAINS UNTIL ENGINEER'S CERTIFICATION AND APPLICANT'S CERTIFICATION HAVE BEEN PROVIDED TO NCDENR AND "FINAL APPROVAL" ISSUED.
- UNDERGROUND UTILITIES - ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE SUCH PLACEMENT IS PROHIBITED OR DEEMED IMPRACTICAL BY THE UTILITY PROVIDER. UNDERGROUND FACILITIES FOR STREET LIGHTING ALONG ALL PUBLIC STREETS ABUTTING THE SUBJECT SITE SHALL BE INSTALLED BY THE DEVELOPER.

FIRE & LIFE SAFETY NOTES:

- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS OR FDC'S. A 3FT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT.
- CONTRACTOR SHALL MAINTAIN AN ALL WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE FIRE LINE PERMIT FROM COW FIRE AND LIFE SAFETY DIVISION, 910-343-0686.
- ALL FDC LOCATION TO BE SHOWN ON FINAL PLAN.
- FDC MUST BE ON THE FRONT OF THE BUILDING(S) UNLESS OTHERWISE APPROVED.
- SHOW ALL HYDRANTS WITHIN 500 FT OF THE BUILDING(S) BY ROAD.
- FIRE HYDRANTS TO BE INSTALLED PER CITY OF WILMINGTON ORDINANCE AND CFPWA STANDARDS.
- WATER FLOW ANALYSIS WILL BE REQUIRED TO DETERMINE THE CORRECT MAIN SIZE TO MEET FIRE FLOW DEMAND.
- NEW HYDRANTS TO BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANT MUST BE WITHIN 150 FT OF THE FDC (MEASURED AS THE TRUCK DRIVES).
- FDC MUST BE WITHIN 40 FT OF FIRE APPARATUS PLACEMENT.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.

TRAFFIC ENGINEERING NOTES:

- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.



P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

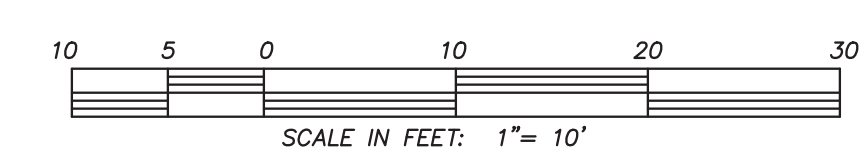
SITE PLAN for
214 RED CROSS
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: 214 RED CROSS STREET LLC
 188 STATE STREET, 3RD FLOOR
 PORTLAND, ME 04101

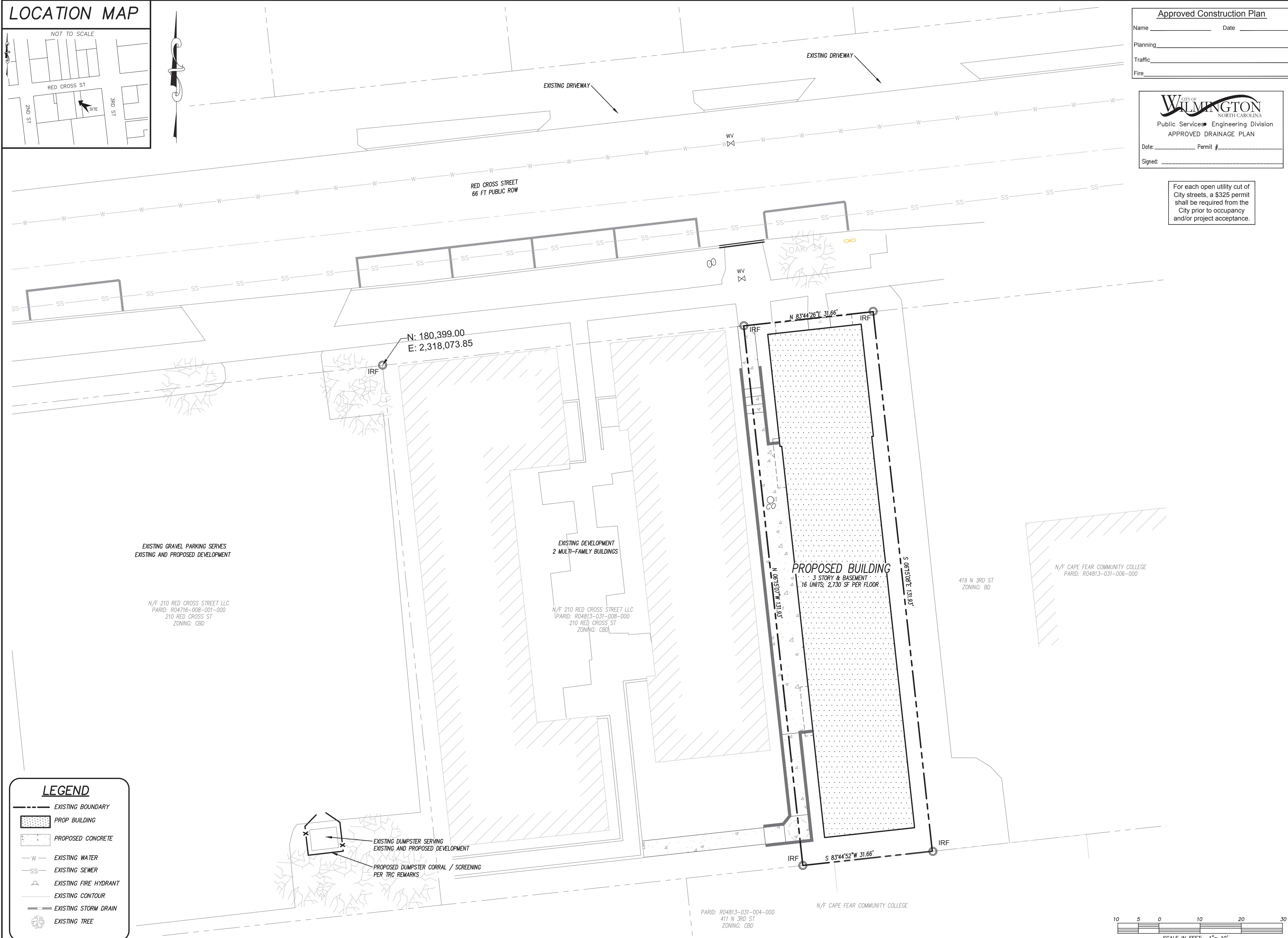
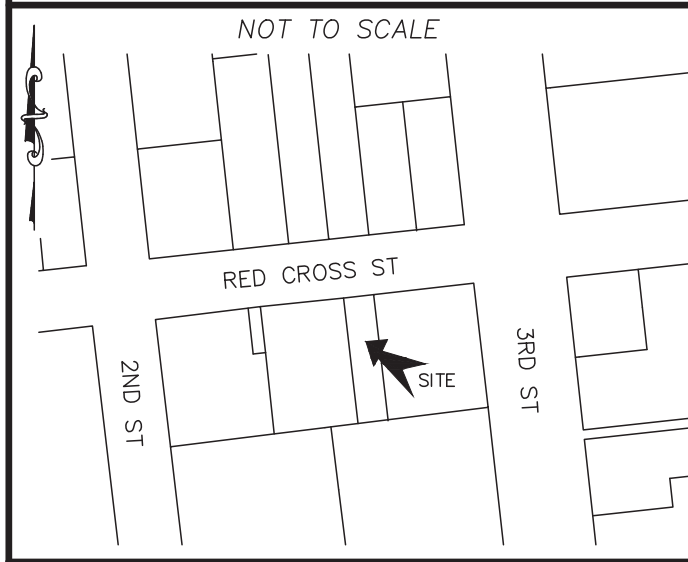
PRELIMINARY

REV. NO.	DATE	BY	REMARKS
1	1/19/22	JSM	REVISION SERVICE IMPR PER CFPWA
2	12/16/21	JSM	AMEND CFPWA DETAILS
3	11/22/21	JSM	SHEET REVISION PER PRE-TRC COMMENTS
4	6/28/21	JSM	AMEND TRIP GENERATION CALC

DATE: 6/28/21
 HORZ. SCALE: 1" = 10'
 VERT. SCALE: N/A
 DRAWN BY: JSM
 CHECKED BY: HSR
 PROJECT NO.: 21-0561



LOCATION MAP



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____

CITY OF WILMINGTON
NORTH CAROLINA

Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

OFFSITE IMPROVEMENTS
for
214 RED CROSS

This plan was prepared by CSD Engineering, Inc. on or after 10/1/2018. It is the property of CSD Engineering, Inc. and shall not be used for any other project without the written consent of CSD Engineering, Inc. The user of this plan shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

SITE PLAN for 214 RED CROSS
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: 214 RED CROSS STREET LLC
188 STATE STREET, 3RD FLOOR
PORTLAND, ME 04101

PRELIMINARY

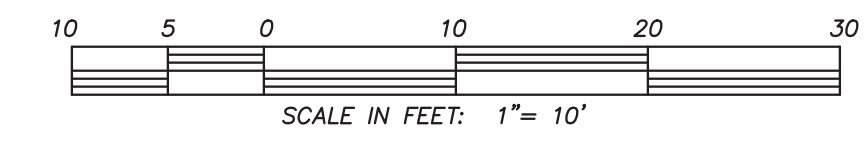
REV. NO.	REMARKS	BY	DATE

DATE: 11/22/21
HORIZ. SCALE: 1" = 10'
VERT. SCALE: N/A
DRAWN BY: JSM
CHECKED BY: HSR
PROJECT NO.: 21-0561

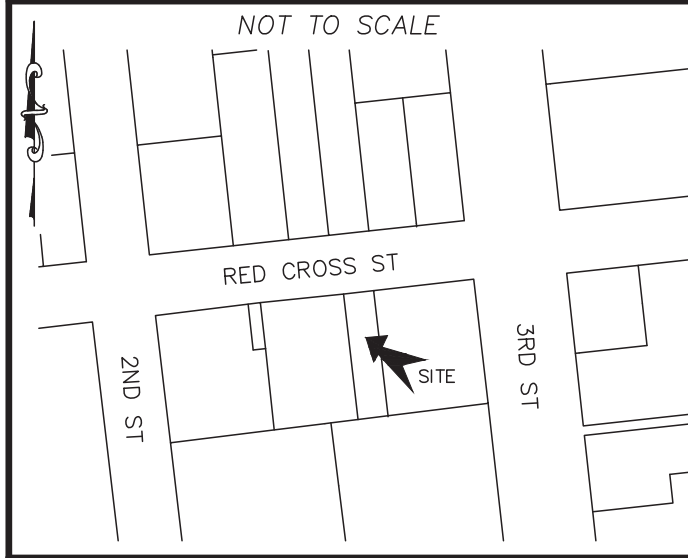
Sheet No. **3** of **7**

LEGEND

- EXISTING BOUNDARY
- PROP. BUILDING
- PROPOSED CONCRETE
- EXISTING WATER
- EXISTING SEWER
- EXISTING FIRE HYDRANT
- EXISTING CONTOUR
- EXISTING STORM DRAIN
- EXISTING TREE



LOCATION MAP



Approved Construction Plan

Name _____ Date _____

Planning _____

Traffic _____

Fire _____



Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

GRADING DETAIL
for
214 RED CROSS

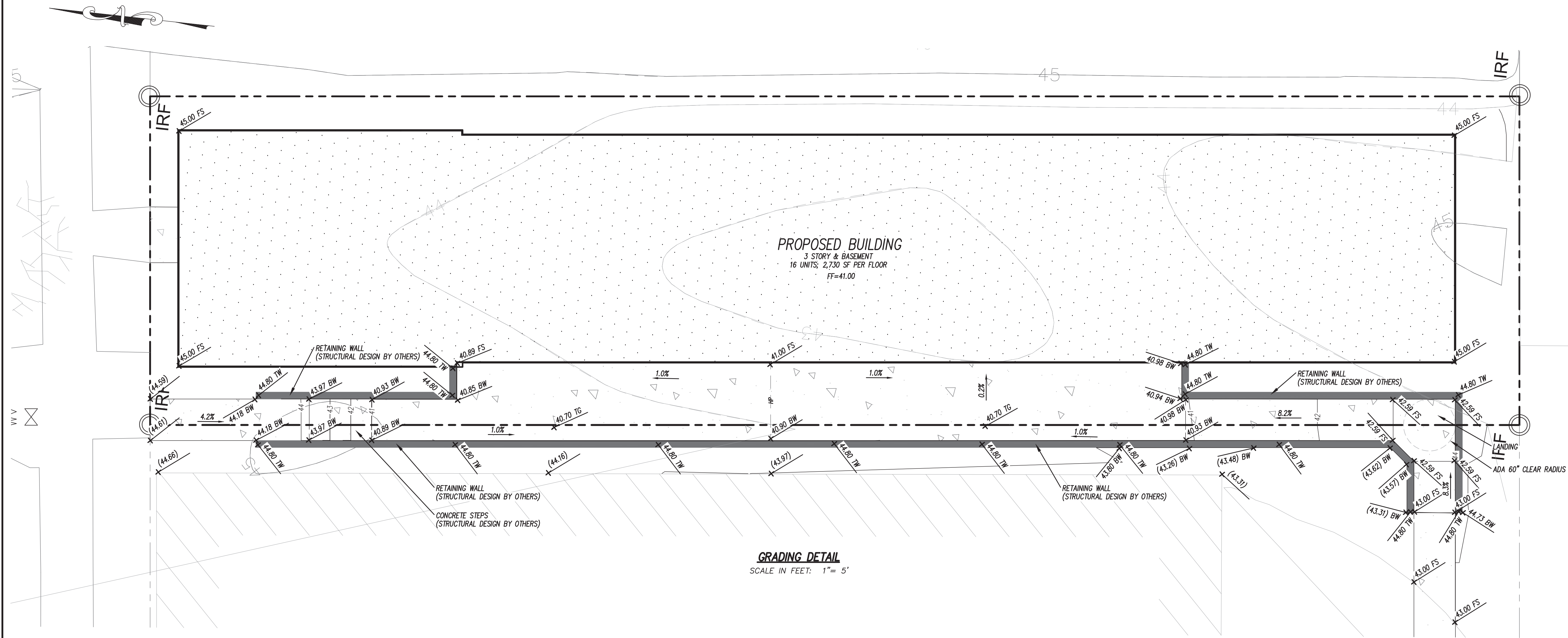
SITE PLAN for
214 RED CROSS
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA
OWNER: 214 RED CROSS STREET LLC
188 STATE STREET, 3RD FLOOR
PORTLAND, ME 04101

PRELIMINARY

REV. NO.	DATE	BY	REMARKS

DATE: 11/22/21
HORIZ. SCALE: 1" = 5'
VERT. SCALE: N/A
DRAWN BY: JSM
CHECKED BY: HSR
PROJECT NO.: 21-0561

Sheet No. **4** of **7**



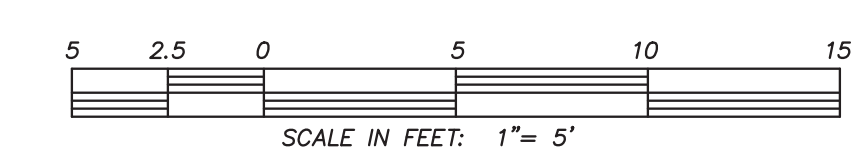
GRADING DETAIL
SCALE IN FEET: 1" = 5'

LEGEND

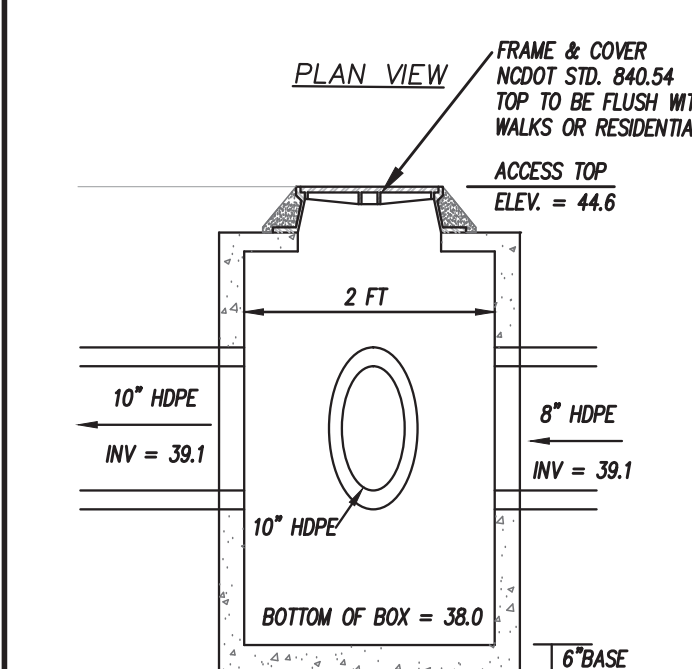
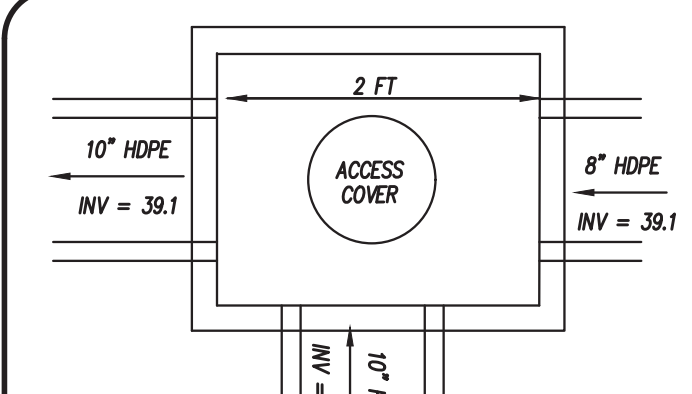
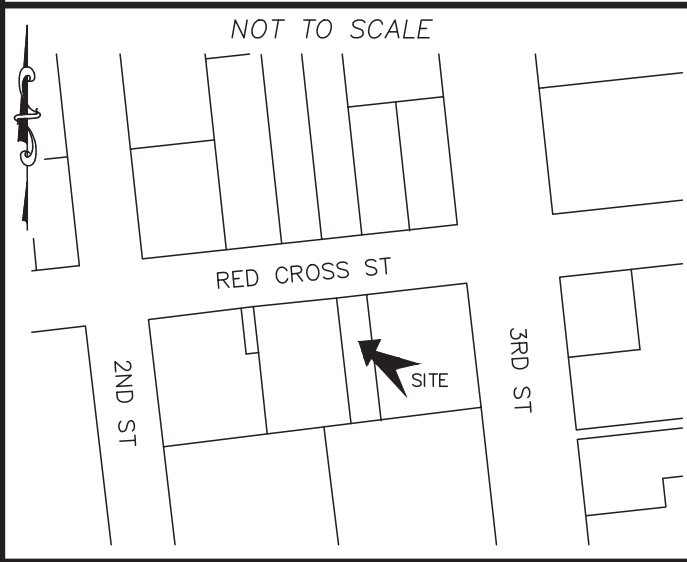
- EXISTING BOUNDARY
- [Dotted Area] PROP BUILDING
- [Hatched Area] PROPOSED CONCRETE
- W- EXISTING WATER
- SS- EXISTING SEWER
- [Circle with 'H'] EXISTING FIRE HYDRANT
- - - EXISTING CONTOUR
- [Line with 'S'] EXISTING STORM DRAIN
- [Tree Symbol] EXISTING TREE
- [X] 43.60 PROPOSED GRADE SHOT
- [X] 43.60 EXISTING GRADE SHOT

KEY

- BW - BOTTOM OF WALL
- TW - TOP OF WALL
- FS - FINISHED SURFACE
- BSW - BOTTOM OF SIDEWALK
- HP - HIGH POINT
- TG - TOP OF GRATE
- TB - TOP OF BOX (ACCESS COVER)
- [Line with 'S'] EXISTING / PROPOSED STORM SEWER & CATCH BASIN

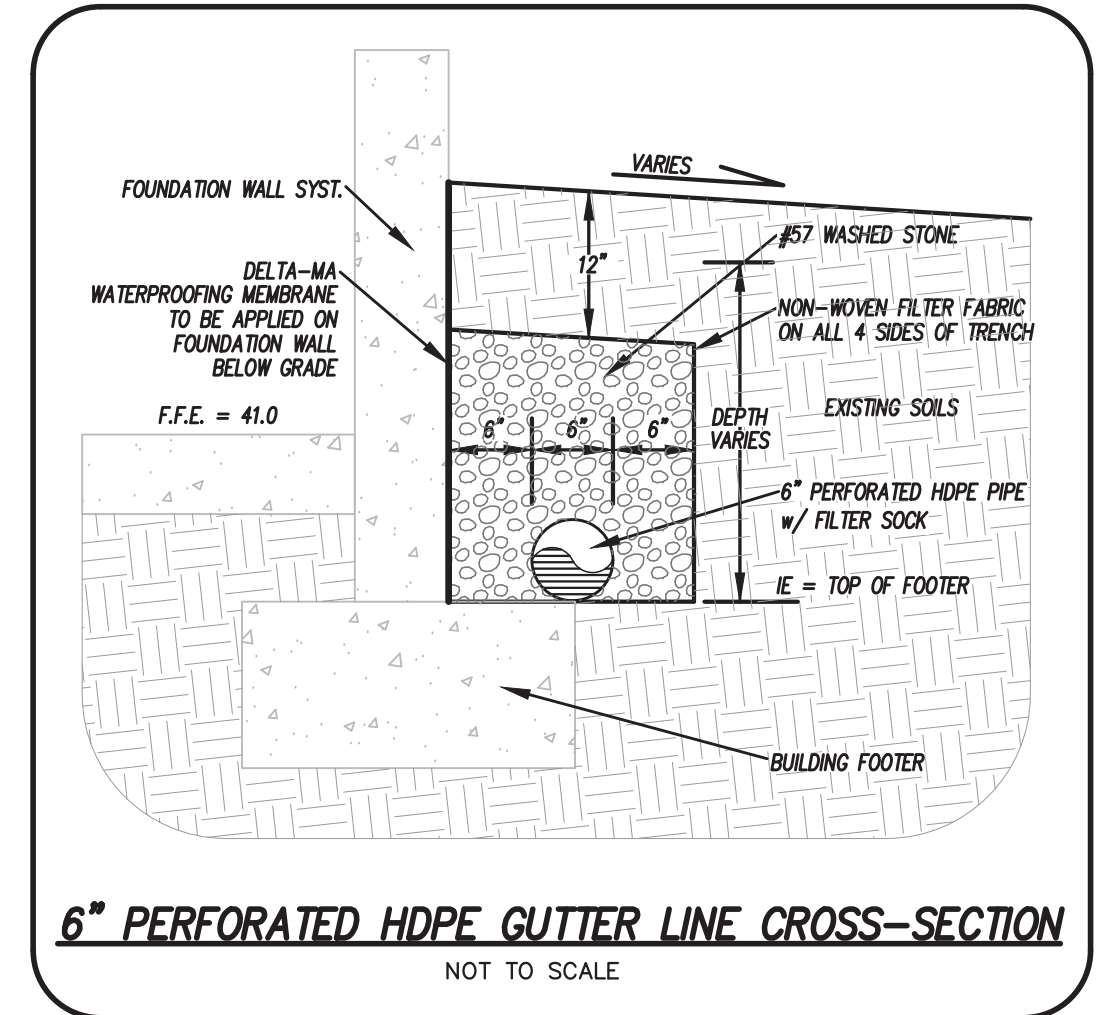
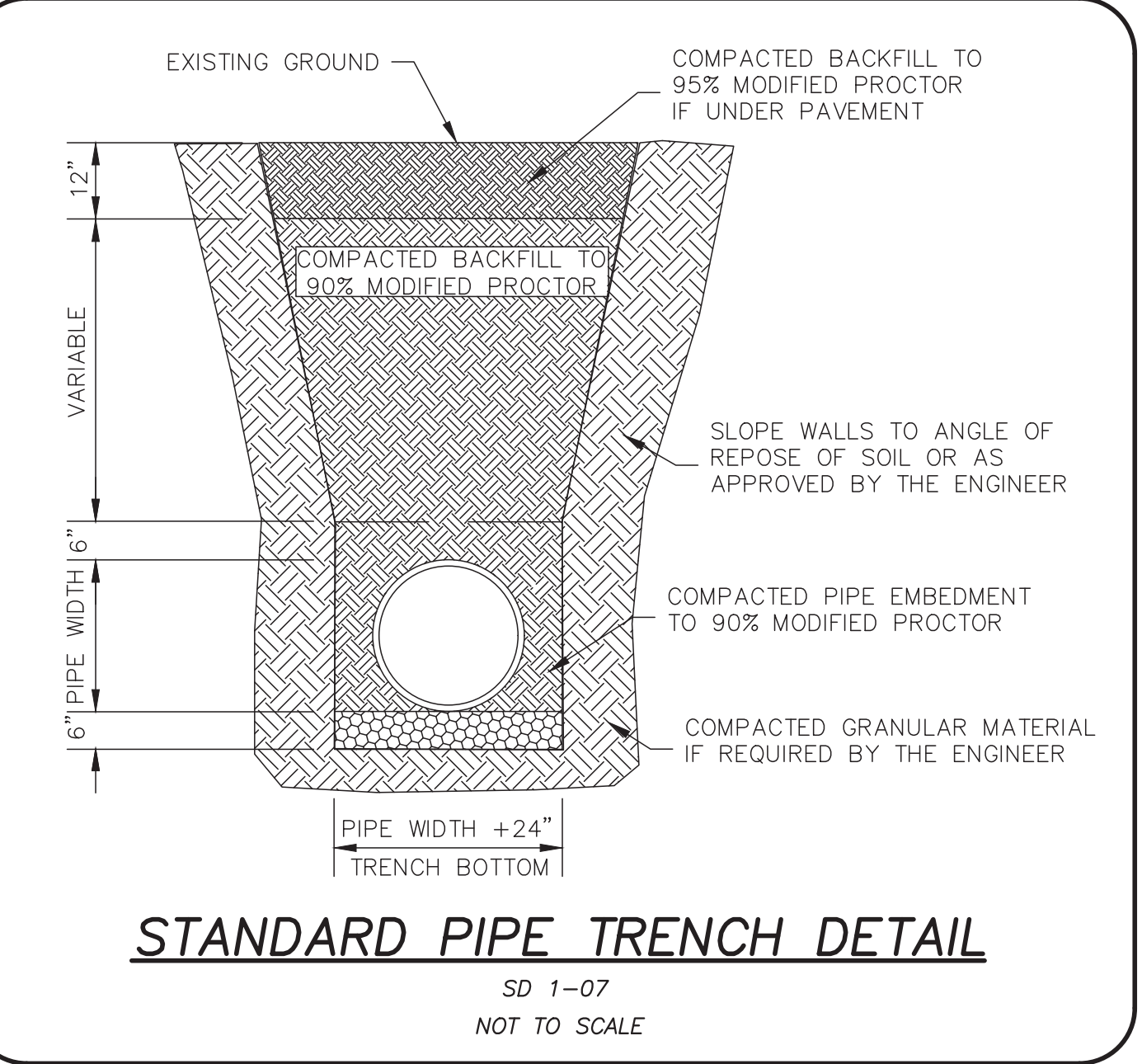
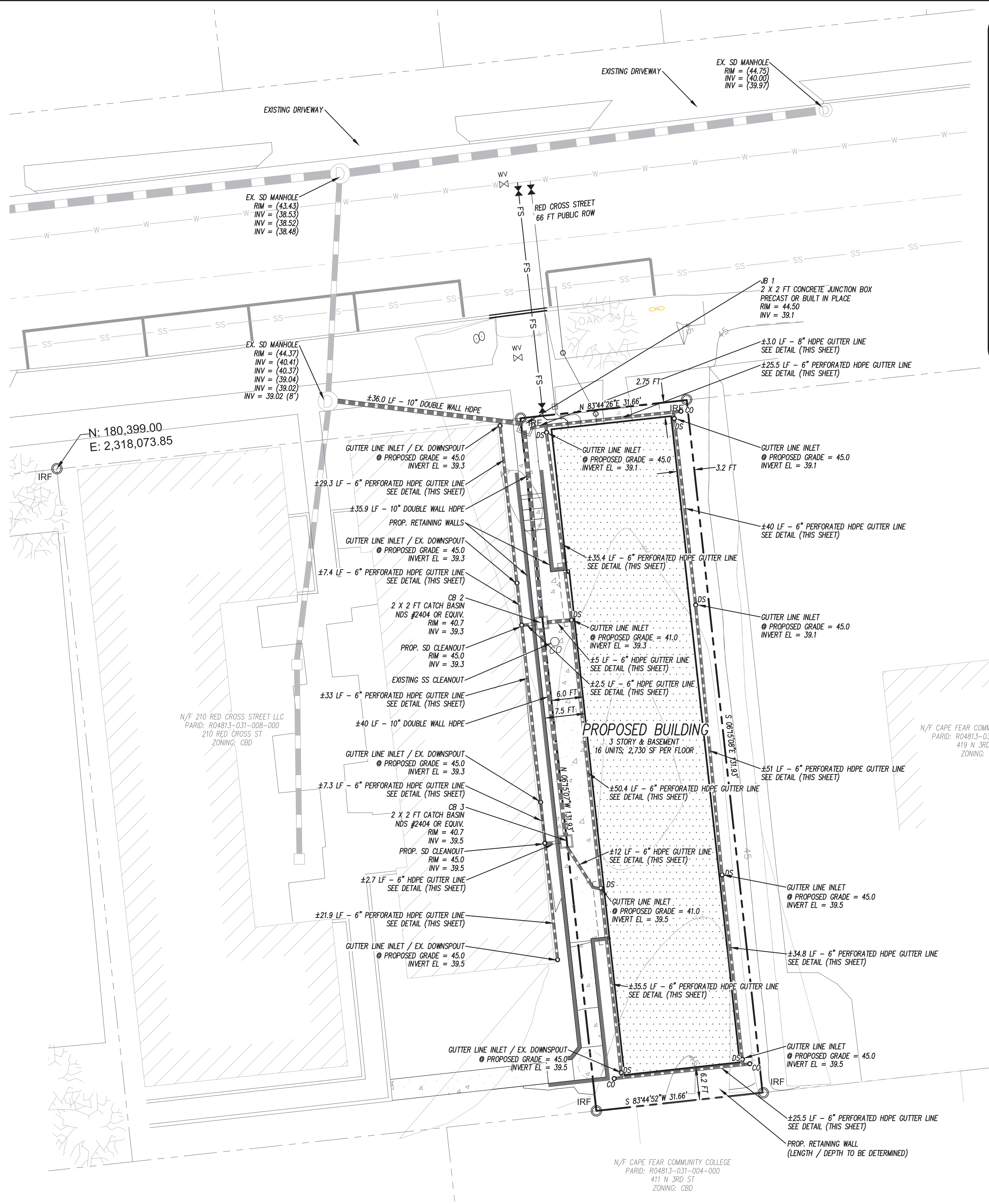
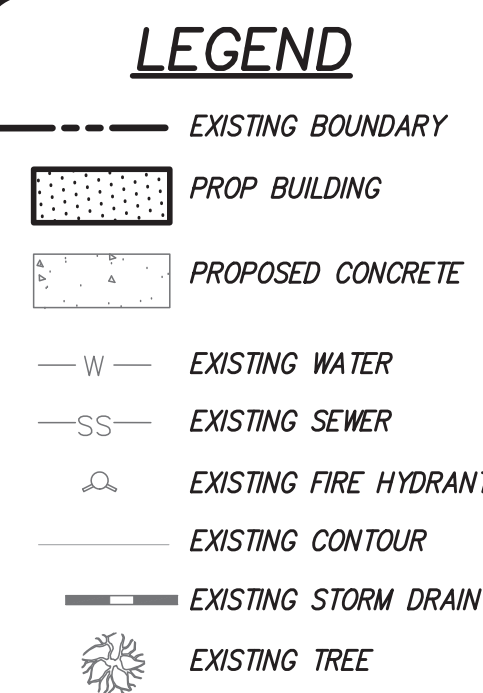


LOCATION MAP



JB 1 DETAIL
NOT TO SCALE

- STORMWATER DRAINAGE STRUCTURE NOTES**
1. RING AND COVERS TO BE NCDOT STD. 840.54
 2. STORM STRUCTURES IN THE R/W TO BE NCDOT STD. 840.46
 3. PRECAST STORM STRUCTURES TO MEET HS-20-44 LOADING.
 4. CONTRACTOR TO INSTALL ACCESS COVERS SO THEY ARE NOT LOCATED WITHIN THE CURB AND GUTTER
 5. DI (DROP INLETS) WITHIN COURTYARD TO BE NYLOPLAST STRUCTURES WITH PED. GRATES
 6. ALL STORM WATER DRAINAGE PIPE TO BE ADS N-12 OR EQUIV.
 7. GUTTER LINES TO BE 6" PERFORATED HDPE.



Approved Construction Plan

Name: _____ Date: _____

Planning: _____

Traffic: _____

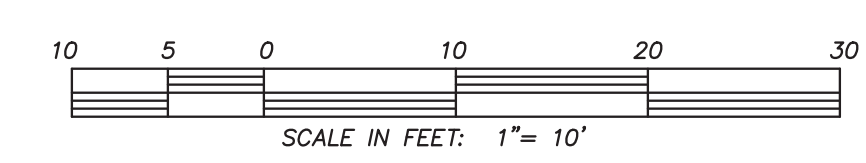
Fire: _____

CITY OF WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



CSD ENGINEERING

LICENSE # C-2710
ENGINEERING
LAND PLANNING
COMMERCIAL / RESIDENTIAL

P.O. BOX 4041
WILMINGTON, NC 28406
(910) 791-4441

STORM DRAINAGE PLAN
for
214 RED CROSS

SITE PLAN for
214 RED CROSS
LOCATED IN CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

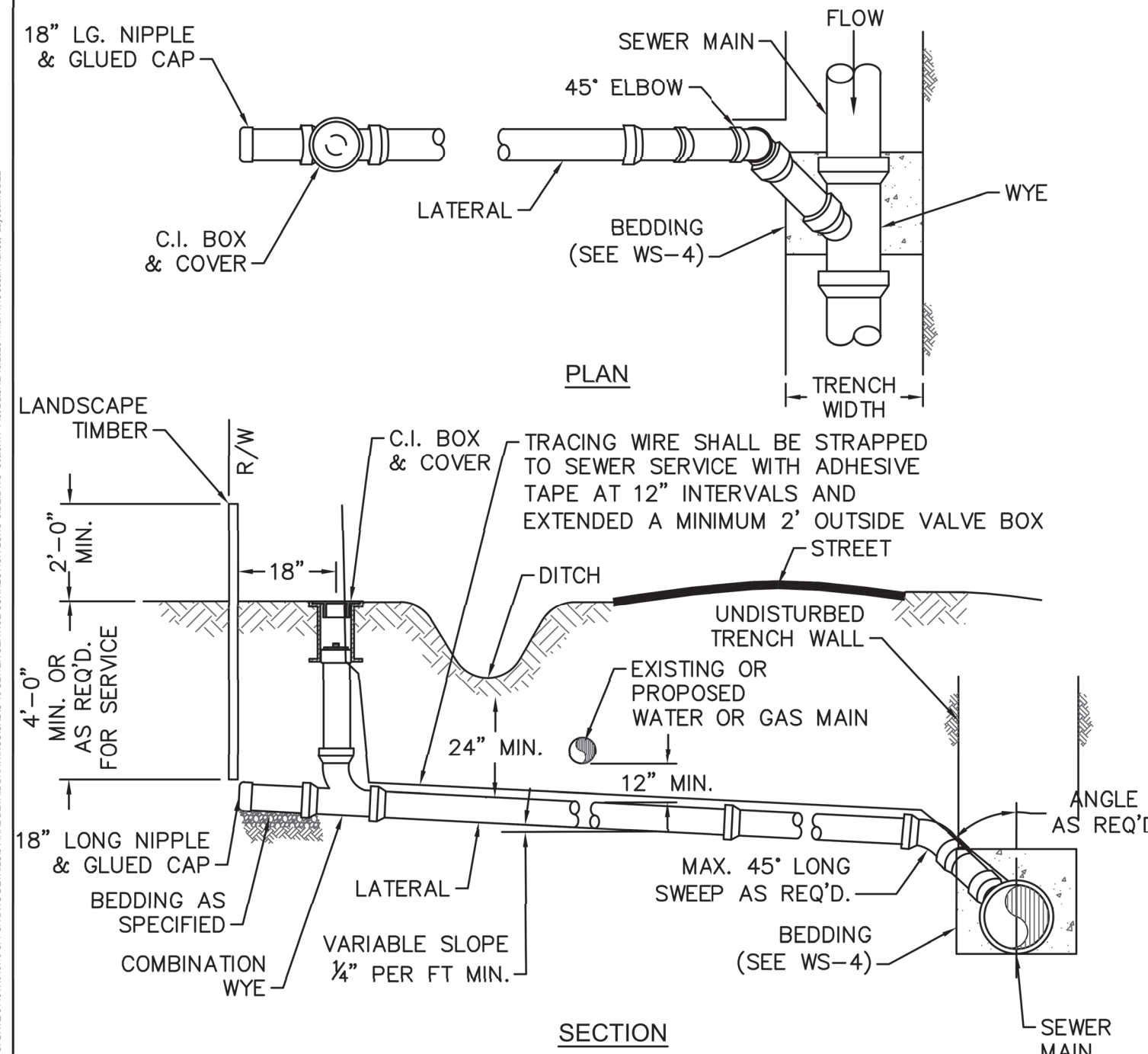
OWNER: 214 RED CROSS STREET LLC
188 STATE STREET, 3RD FLOOR
PORTLAND, ME 04101

PRELIMINARY

REV.	NO.	REASON FOR ENGINEERING COMMENTS	DATE
1			1/19/22

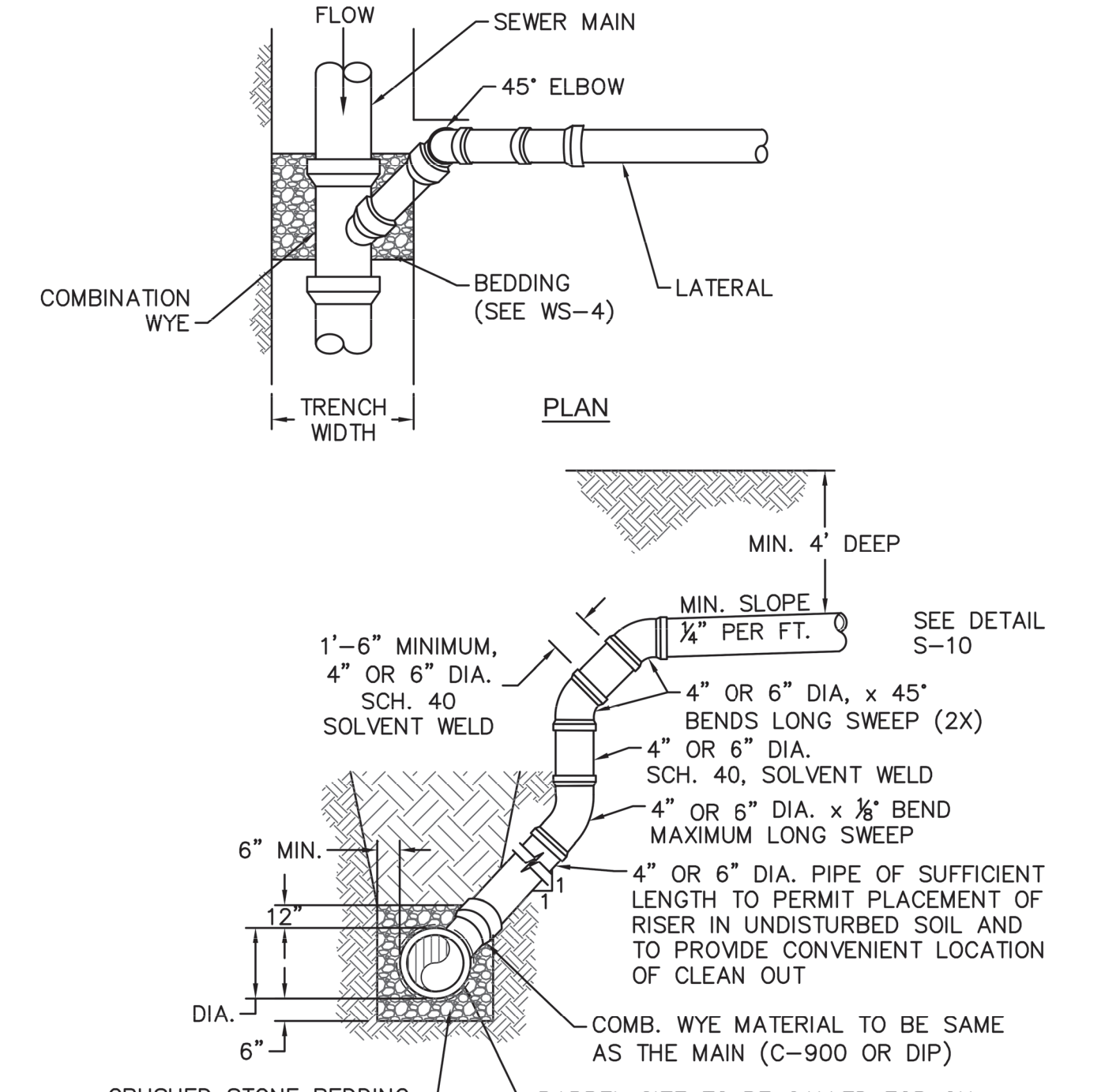
DATE: 11/22/21
HORIZ. SCALE: 1" = 10'
VERT. SCALE: N/A
DRAWN BY: JSM
CHECKED BY: HSR
PROJECT NO.: 21-0561

Sheet No. **5** of **7**



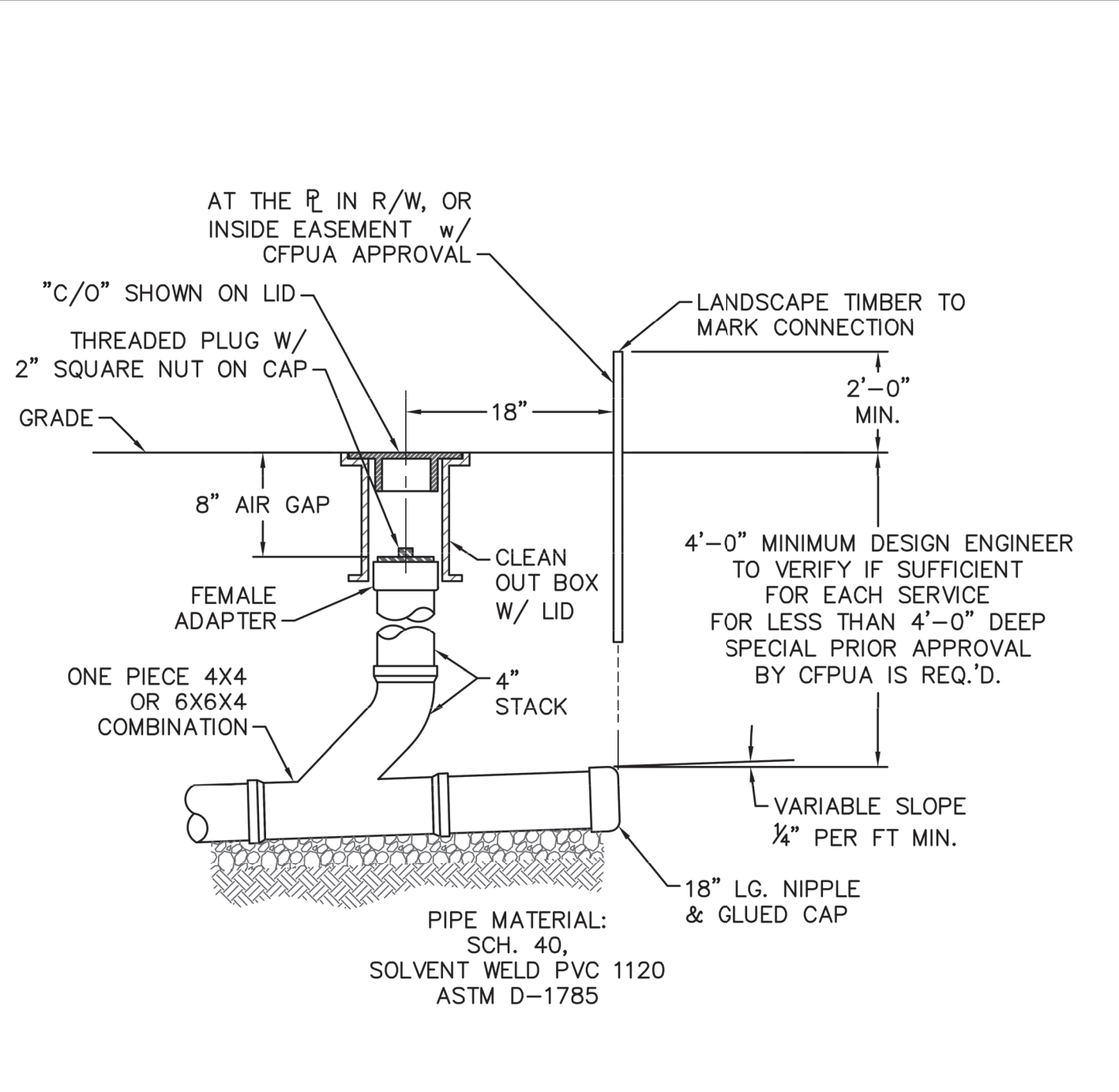
- NOTES:**
- SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE AT RIGHT-OF-WAY LINE.
 - ALL SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF DIP, WITH PROTECTIVE LINING.
 - CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
 - MINIMUM 1'-6" NIPPLE SPACING BETWEEN FITTINGS.
 - FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO MAIN.

DETAIL: SEWER SERVICE CONNECTION - LONG-SIDE		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: S-10
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/01/2021		SHEET NO: -



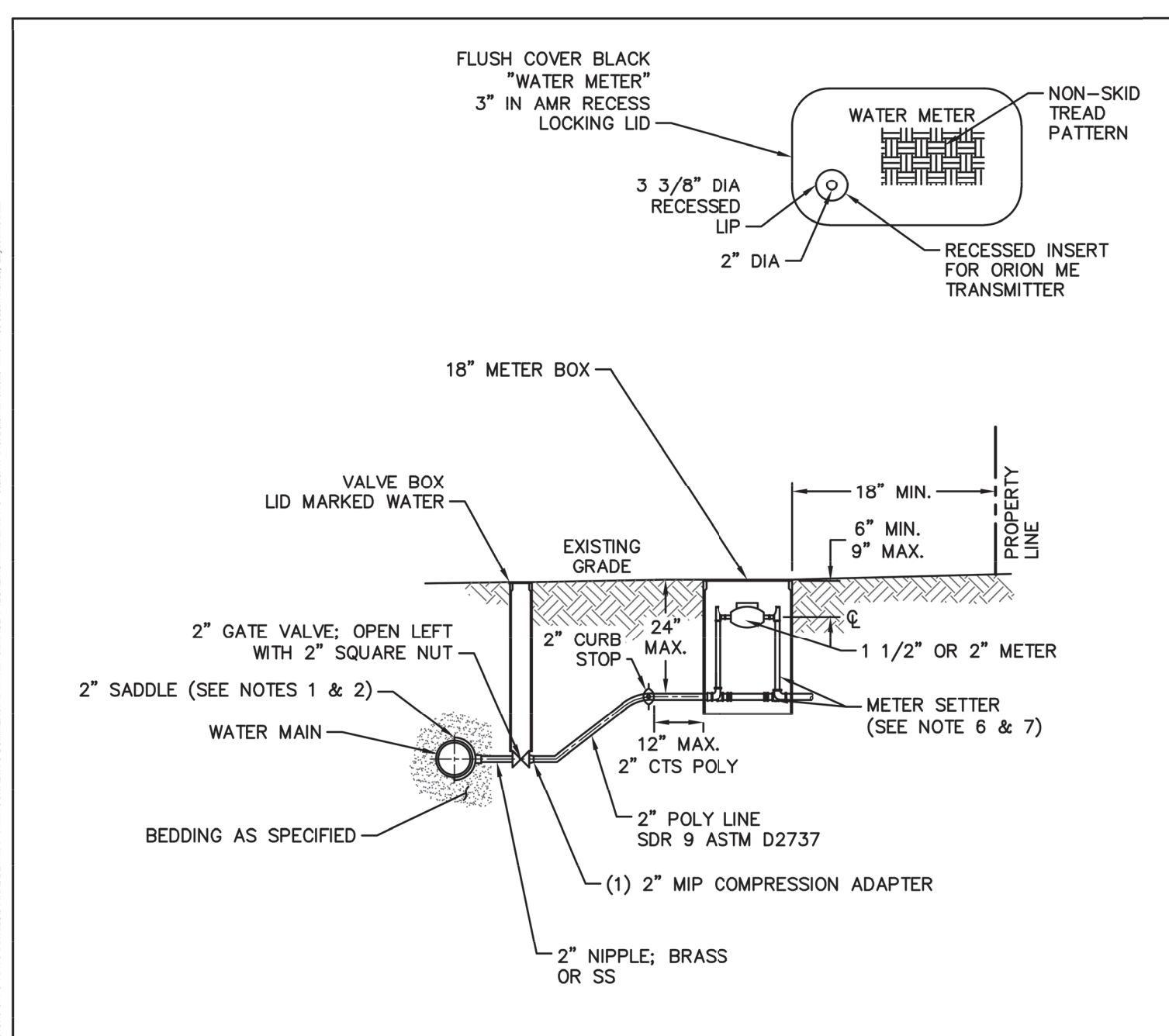
- NOTES:**
- SPECIAL CARE SHALL BE TAKEN DURING BACKFILL OPERATIONS. THE RISER SHALL BE PLUMB AND TRUE AT ALL TIMES, AND REST ON FIRM, STABLE FOUNDATION.
 - FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
 - ALL SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL BE CONSTRUCTED OF DIP, WITH PROTECTIVE LINING.
 - 1'-6" MINIMUM NIPPLE SPACING BETWEEN FITTINGS.

DETAIL: SEWER SERVICE CONNECTION - MAIN TO LATERAL (GREATER THAN 8" DEEP)		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: S-11
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/01/2021		SHEET NO: -



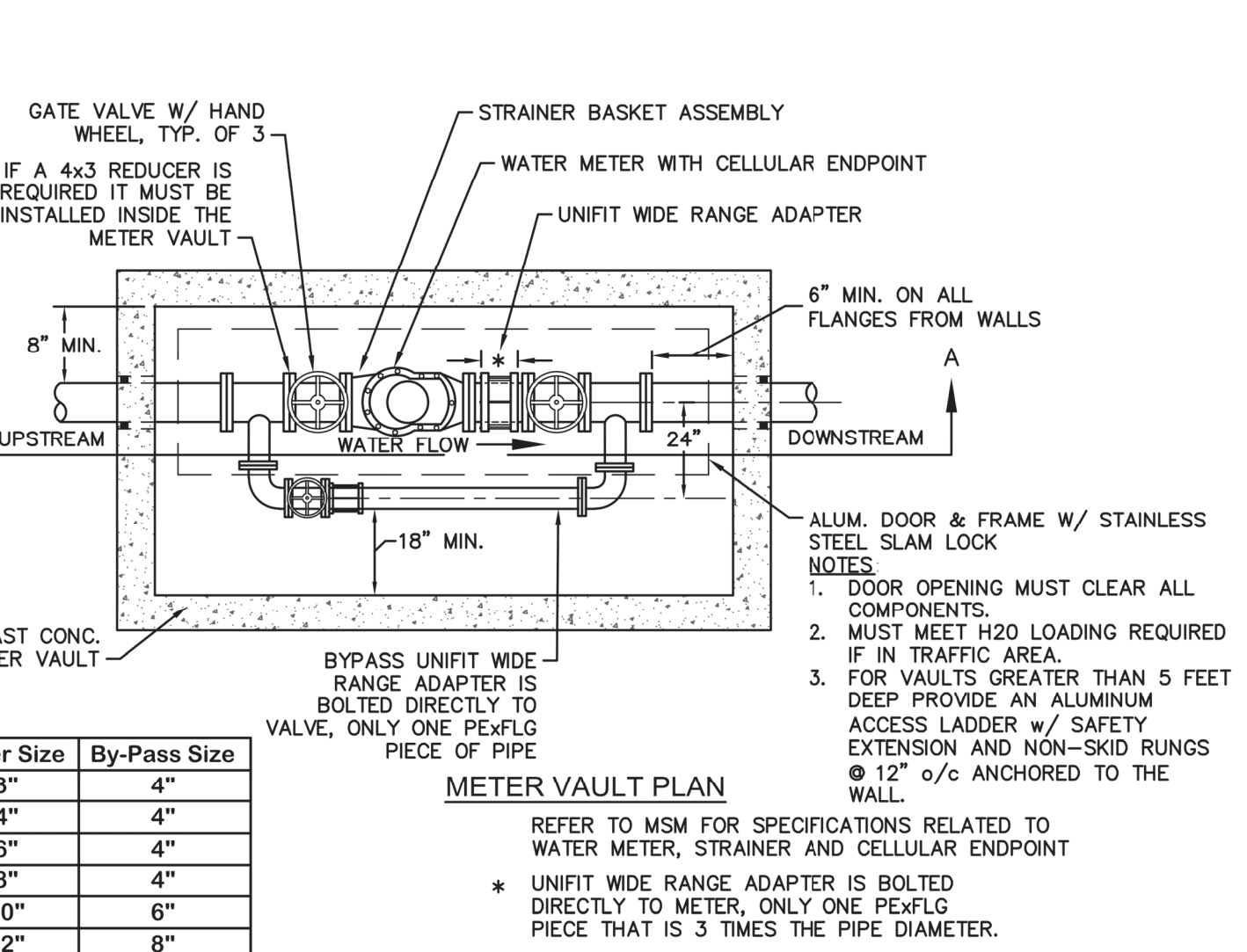
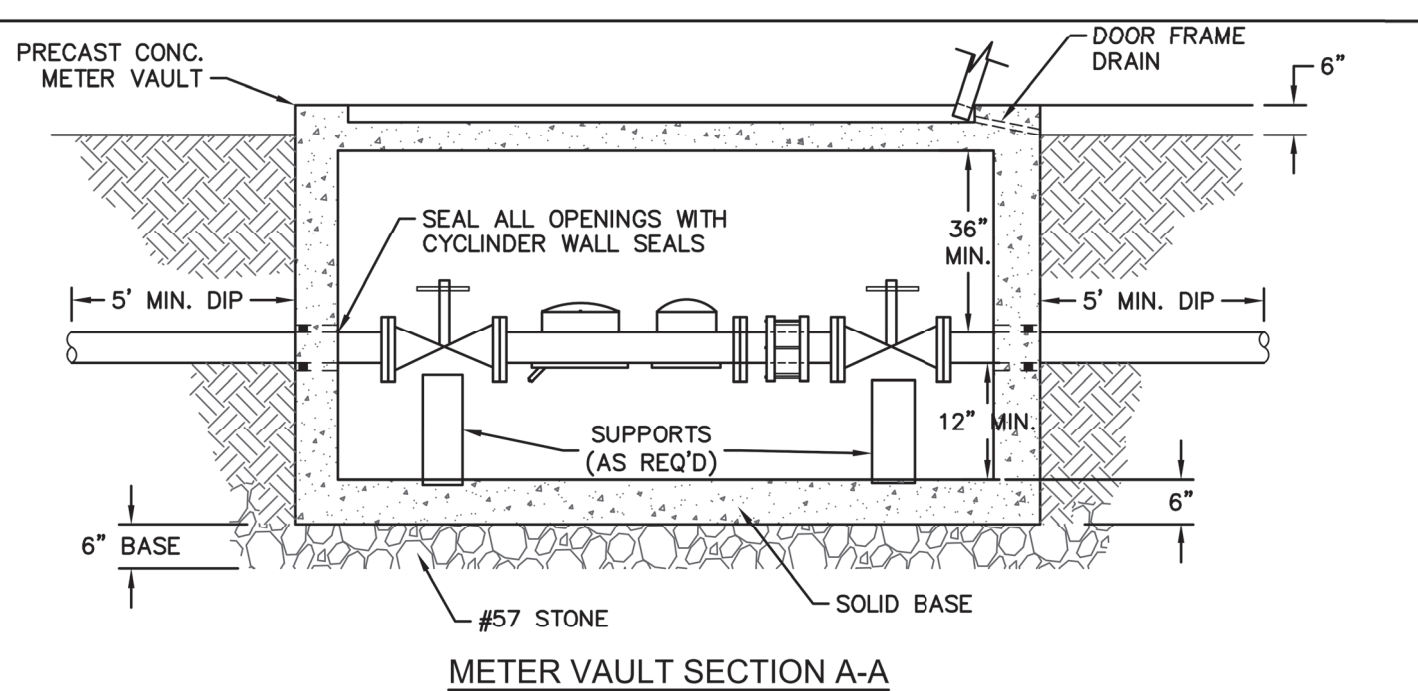
- NOTES:**
- FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
 - CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.

DETAIL: SEWER SERVICE CONNECTION - TYPICAL CLEAN-OUT		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: S-13
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/01/2021		SHEET NO: -

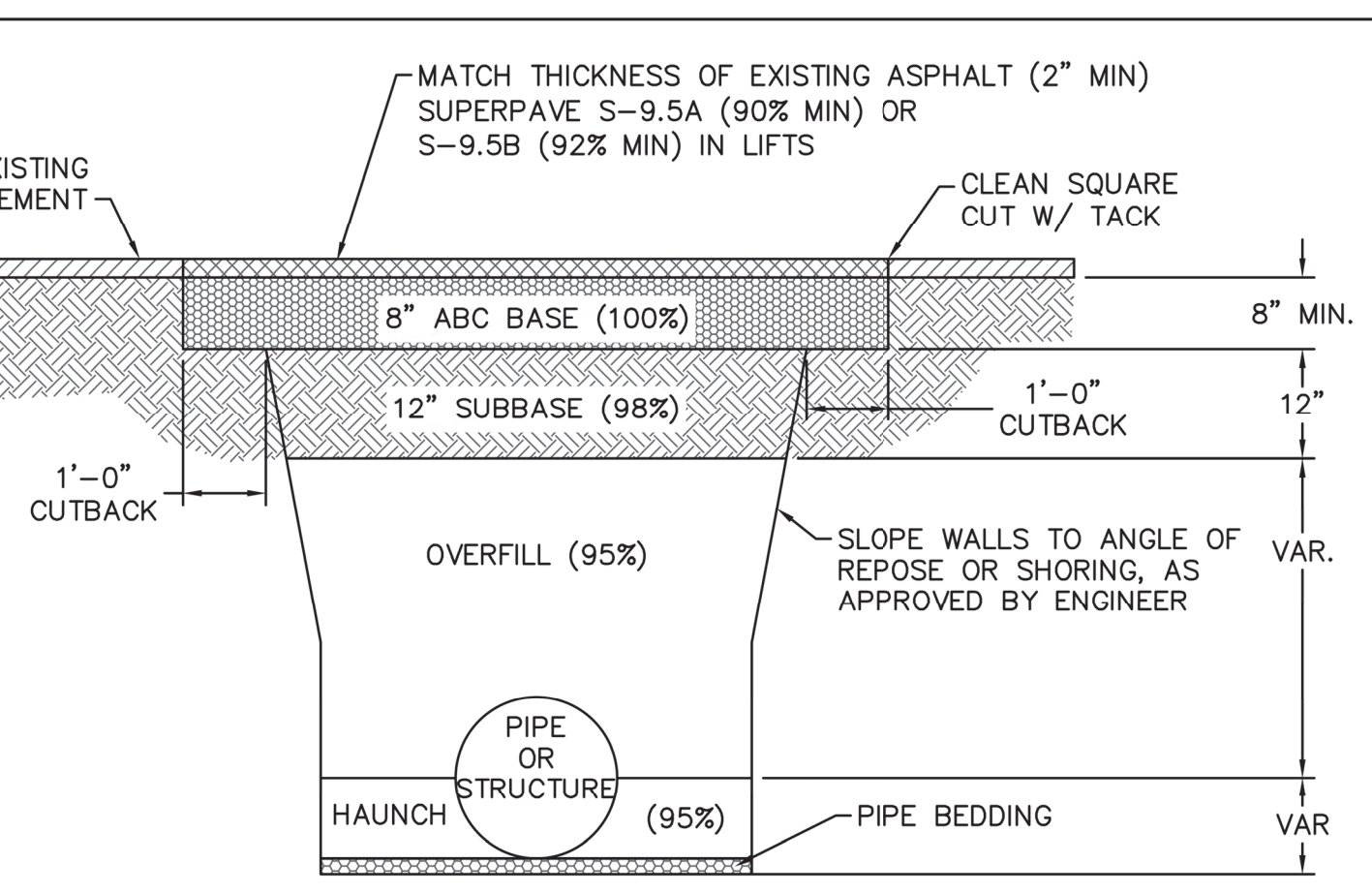


- NOTES:**
- WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE THE RIGHT-OF-WAY LINE.
 - SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
 - METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS.
 - NON-TRAFFIC METER BOXES SHALL BE PER CFPWA STANDARD MATERIAL.
 - 3" CLEAN FILL REQUIRED ALL AROUND 2" POLY SERVICE LINE.
 - 1 1/2" METER - NL METER SETTER SHALL BE PER CFPWA STANDARD MATERIAL.
 - 2" METER - NL METER SETTER SHALL BE PER CFPWA STANDARD MATERIAL.
 - WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNERS.
 - SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.

DETAIL: COMMERCIAL WATER SERVICE - 1 1/2 OR 2-INCH METERS		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: W-3
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/01/2021		SHEET NO: -



DETAIL: COMMERCIAL WATER SERVICE - 3-INCH AND LARGER METERS		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: W-4A
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/01/2021		SHEET NO: -



- NOTES:**
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
 - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
 - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57 STONE, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
 - SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
 - ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
 - COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC STONE, AND BY NUCLEAR GAGE OR CORE SAMPLE FOR ASPHALT.
 - CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

DETAIL: CITY OF WILMINGTON PAVEMENT REPAIRS-UTILITY CUTS		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: WS-1
SCALE: NOT TO SCALE	CFPWA DETAIL DATE: 01/01/2021		SHEET NO: -

CSD ENGINEERING
 LICENSE # C-2710
 ENGINEERING
 LAND PLANNING
 COMMERCIAL / RESIDENTIAL
 P.O. BOX 4041
 WILMINGTON, NC 28406
 (910) 791-4441

CFPUA STANDARD DETAILS
 for
214 RED CROSS

CFPUA DETAILS for
214 RED CROSS
 LOCATED IN CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA
 OWNER: 214 RED CROSS STREET LLC
 188 STATE STREET, 3RD FLOOR
 PORTLAND, ME 04101

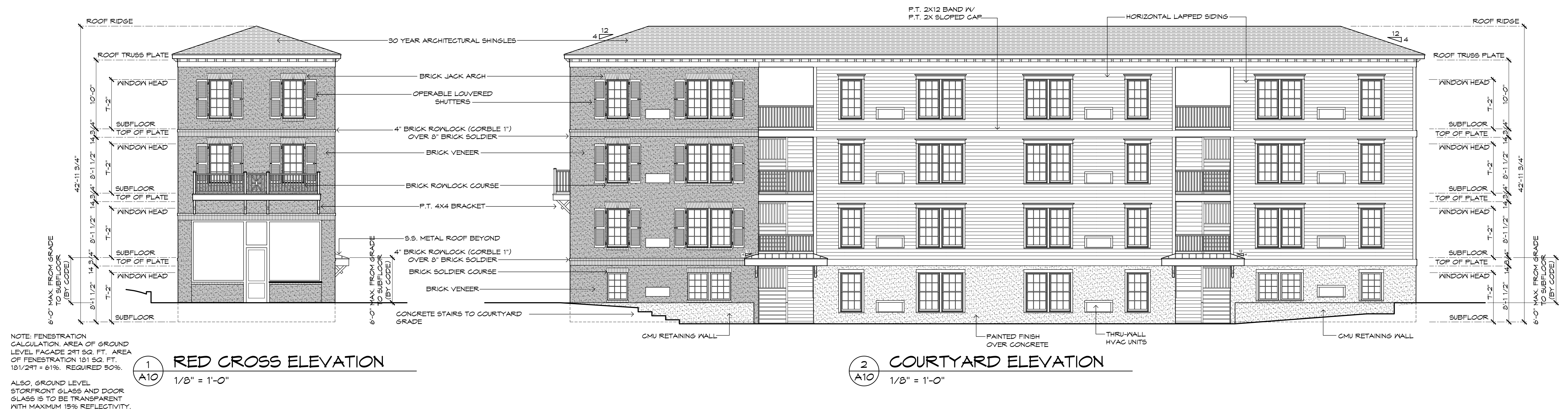
PRELIMINARY

REV. NO.	BY	DATE	REMARKS

DATE: 12/16/21
 HORZ. SCALE: N/A
 VERT. SCALE: N/A
 DRAWN BY: JSM
 CHECKED BY: HSR
 PROJECT NO.: 21-0561

Revisions:	
date:	description:

© COPYRIGHT 2022
 MARK ANDREW SAULNIER
 ARCHITECT, PLLC



NOTE: PENETRATION CALCULATION AREA OF GROUND LEVEL FACADE 247 SQ. FT. AREA OF PENETRATION 181 SQ. FT. 181/247 = 61%. REQUIRED 50%.

ALSO GROUND LEVEL STOREFRONT GLASS AND DOOR GLASS IS TO BE TRANSPARENT WITH MAXIMUM 15% REFLECTIVITY.

1 RED CROSS ELEVATION
 A10 1/8" = 1'-0"

2 COURTYARD ELEVATION
 A10 1/8" = 1'-0"



3 EAST ELEVATION
 A10 1/8" = 1'-0"

4 SOUTH ELEVATION
 A10 1/8" = 1'-0"

**COURTYARD
 CONDOMINIUMS**
 214 Red Cross Street
 Wilmington, NC

Mark
 Andrew
 Saulnier
 Architect

P L L C
 Architecture &
 Historic Preservation
 4209 Wrightsville Avenue
 Wilmington, NC 28403
 Tel. & Fax 910.793.0639

drawn:	MAS
checked:	MAS
date:	04/28/2022
job no:	
sheet:	of:

A10